



Community Development Department

RENAISSANCE ZONE AUTHORITY

MEETING AGENDA

August 19, 2014

City-County Office Building	4:00 p.m.	David J. Blackstead Meeting Room
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- 1. Call to Order**
- 2. Approval of Minutes**
 - a. July 29, 2014
- 3. CORE Incentive Program Projects**
 - a. Request of Jim Barnhardt for assistance from the CORE Technical Assistance Bank Grant, a CORE Incentive Program, for the building at 223 East Main Avenue. The property is owned by Jim Barnhardt and is legally described as the North 140 feet of Lots 1-2, Block 4, Original Plat
- 4. Renaissance Zone Boundary Modification Request – Discussion**
- 5. Downtown Update Provided by the Downtowners Association**
- 6. Other Business**
- 7. Adjourn – Next regular meeting is scheduled for Tuesday, September 16, 2014.**



**RENAISSANCE ZONE AUTHORITY
SPECIAL MEETING MINUTES
July 29, 2014**

The Bismarck Renaissance Zone Authority met for a special meeting on July 29, 2014 in the David J. Blackstead Meeting Room in the City-County Office Building at 221 North 5th Street. Vice Chairman Huber presided.

Authority members present were Jim Christianson, Chuck Huber, George Keiser, Todd Van Orman and Josh Askvig.

Authority members Jeff Ubl and Curt Walth were absent.

Technical advisor Bruce Whittey was present.

Staff members present were Jason Tomanek (Community Development - Planning), Hilary Balzum (Community Development - Planning), Brady Blaskowski (Community Development - Building Inspections), Ross Dettmann (Assessing), Jason Hammes (City Attorney's Office) and Brenda Johnson (Assessing).

Guests present were Chris Volk, Reza Kamranian, LeAnn Eckroth, Darin Ketterling, Kathleen Atkinson, Kristin Franzen, Steph Smith, Robert Graham, Katie Vasbinder and Pat Finken.

CALL TO ORDER

Vice Chairman Huber called the meeting to order at 4:00 p.m.

INTRODUCTION OF NEW RENAISSANCE ZONE AUTHORITY MEMBER

Vice Chairman Huber introduced City Commissioner Josh Askvig as the newest member of the Renaissance Zone Authority. Mr. Askvig replaces Brenda Smith as the Ex-Officio member from the Board of City Commissioners.

MINUTES

The minutes of the May 20, 2014 meeting were distributed with the agenda packet.

MOTION: A motion was made by Mr. Christianson and seconded by Mr. Keiser to approve the minutes of the April 15, 2014 meeting as received with corrections. The motion passed unanimously with members Askvig, Christianson, Huber, Keiser and Van Orman voting in favor.

CORE INCENTIVE PROGRAM PROJECTS

304 EAST FRONT AVENUE – PRESSDOUGH OF BISMARCK, LLC

Mr. Tomanek said the applicant, Pressdough of Bismarck, LLC/Reza Kamranian, owner of Reza's Pitch, is requesting assistance from the CORE Façade Incentive Grant to secure assistance for the first of three phases of improvements to the facility at 304 East Front Avenue as a CORE Incentive Program project. The property is legally described as Tract 304, Original Plat. Mr. Kamranian is proposing; improvements with this initial phase that include exterior façade work to the south and west-facing building facades. The applicant has indicated a desire to implement the improvements in 2014.

Mr. Tomanek said; based on the findings in the staff report, staff recommends approval of the CORE Façade Incentive grant request to reimburse Pressdough of Bismarck, LLC/Reza Kamranian for 50% of the final project costs up to \$30,000 for the work and materials associated with the south façade renovation project and up to \$30,000 for the work and materials associated with the west façade renovation at 304 East Front Avenue with the following conditions:

1. The project generally conforms to the site plan submitted with the application.
2. All the necessary building permits are obtained.
3. Any modifications to the project as proposed would need to be reviewed by the Renaissance Zone Authority prior to implementation.

Mr. Christianson noted that there is a large disconnect between the architect's project cost estimates and the contractor's bid amount. Mr. Kamranian said the drawings were looked over between himself as well as the architect, painters and contractors and one of the original builders of the building actually works for the contractor now and he said the bid is accurate and reasonable according to what was presented.

Vice Chairman Huber asked if the entire exterior is going to be redone. Mr. Kamranian said at this time he is only doing the south and west sides of the building but does have plans to eventually do the north and east sides as well but they will not be part of the façade grant at this time.

Mr. Whittey asked if this property is included in the Downtown District. Mr. Tomanek said it is zoned CG-Commercial so a Downtown Design Review application will not be required and those regulations will not apply. He said there will be landscape plans in place with phase two of Mr. Kamranian's plans.

Mr. Kamranian asked if the new patio can be included in the work since it adds to the assessed value of the property. Mr. Tomanek explained that patios have not historically been included in CORE projects.

MOTION: A motion was made by Mr. Keiser and seconded by Mr. Askvig to recommend approval of assistance from the CORE Façade Incentive Grant to secure assistance for the first of three phases of improvements to the facility at 304

East Front Avenue as a CORE Incentive Program project. The motion passed unanimously with members Askvig, Christianson, Keiser, Van Orman and Huber voting in favor.

114 NORTH 3RD STREET – GRANDMA’S HOUSE, LLC

Mr. Tomanek said the applicant, Chris Volk, is requesting assistance from the CORE Technical Assistance Bank to secure professional architectural services to determine feasibility to remodel the building and the apartment units and to assess the structural integrity and condition of the historic building at 114 North 3rd Street. The property is legally described as Lots 4-6, Block 52, Original Plat. The applicant, Chris Volk, has indicated a desire to renovate each of the 65+ apartment units and to have a restaurant tenant on the first floor of the building. Grandma’s House, LLC is the current owner of the property.

Mr. Tomanek said, based on the findings in the staff report, staff recommends approval of the request from Chris Volk for a Technical Assistance Bank grant, which would allow the applicant to procure the services of a licensed architect and a licensed engineer to assist with a feasibility study, preliminary review and design assistance, renovation vs. restoration options, preliminary cost estimates and code analysis. The maximum architectural grant amount of \$2,475.00 is based on an hourly rate of \$110.00 for a maximum of 30 hours and a 25% match provided by the applicant. The maximum engineering grant amount of \$5,775.00 is based on an hourly rate of \$110.00 for a maximum of 70 hours and a 25% match provided by the applicant.

Mr. Christianson asked Mr. Volk if there has been any new update since he put his application in. Mr. Volk said he is just waiting on the appraisal and is hoping to push the closing date back to August 30th and would like to use the existing restaurant and kitchen on the first floor and have renovated apartments on the floors above. His plan is to renovate the apartments one floor at a time and also replace the roof. He said the units do have tenants and he cannot very well kick them out.

Mr. Askvig asked how often an owner does a total renovation after the assessment is completed. Mr. Tomanek said the last assessment for this property far exceeded the applicants’ budget for renovations and the project was dropped due to the extensive amount of work that needed to be done.

Mr. Keiser asked if Renaissance Zone codes regulations apply to this property if Mr. Volk chooses to forgo the Renaissance Zone program. Mr. Tomanek said they would not but that there will be some design regulations because it is in the Downtown District, so externally it has to be aesthetically consistent and building site plan reviews will apply internally even if there is no public assistance or funding awarded.

Mr. Askvig said he agrees with the benefits of having an engineer on the project, but what will be asked for in the architectural reviews. Mr. Volk said things like wider doorways for ADA compliance and feasibility requirements are needed.

Bob Graham, 915 North 10th Street, asked if there is an architect lined up yet for the project. Mr. Volk said he has hired an architect from REH, PC. Mr. Graham then asked why Mr. Volk feels tax payers should pay for this project. Vice Chairman Huber said that is not a question to be answered by the Authority at this time, but it can be discussed privately with the applicant if so desired.

MOTION: A motion was made by Mr. Keiser and seconded by Mr. Christianson to recommend approval of assistance from the CORE Technical Assistance Bank grant, which would allow the applicant to procure the services of a licensed architect and a licensed engineer to assist with a feasibility study, preliminary review and design assistance, renovation vs. restoration options, preliminary cost estimates and code analysis for the facility at 114 North 3rd Street as a CORE Incentive Program project. The motion passed unanimously with members Christianson, Keiser, Van Orman, Askvig and Huber voting in favor.

RENAISSANCE ZONE BOUNDARY MODIFICATION REQUEST – DISCUSSION

Mr. Tomanek said Pat Finken is considering an opportunity to purchase the property at 117 West Front Avenue, currently occupied by United Printing. He said the Renaissance Zone blocks around the property have either been removed or marked completed and Mr. Finken indicated a desire to be added to the Renaissance Zone.

Mr. Tomanek said a different block would either have to be removed or deemed completed and that the Renaissance Zone has been expanded before. He said the owners in those blocks potentially being removed would need to be notified with the request that they provide any intentions for improvements or if they have any opposition to be removed. He said the United Printing property could be used for commercial purposes but there are also single-family homes mixed with other businesses on the block that could benefit from the assistance. Mr. Tomanek noted that the single-family homes are considered non-conforming uses because the current CG-Commercial zoning district does not allow single-family homes as a permitted use. He then said it will take approximately three months to complete the process because of the notification requirements and meeting processes involved including approval by the Board of City Commissioners.

Mr. Christianson said there are two blocks south of Front Avenue that are completed but have not been removed. Mr. Tomanek said they are completed and removed but are still shown so as to avoid them being added back in by mistake. He added that there are multiple blocks that have potential for development.

Vice Chairman Huber said the Galpin property as well as Civic Square are completed and that block could be removed. Mr. Askvig said there are inactive residential blocks to the northwest that could also come out.

Kate Herzog, Downtowners Association, said there has been some interest in the residential area for redevelopment, specifically the former Petals and More building at the intersection of 2nd Street and Rosser Avenue.

Mr. Christianson asked if the legislature would allow an expansion if the request was presented. Mr. Keiser said possibly but blocks that have been removed cannot be added back in. Mr. Tomanek said the Department of Commerce does not like to see projects being chased by communities and cautioned that support from other property owners on the block being considered would be necessary in order to add the new block into the Renaissance Zone or too many boundary modifications.

Mr. Askvig said he would like to move to have the Horner owned property that includes Magic Touch as well as the Civic Square block owners contacted to potentially be removed.

MOTION: A motion was made by Mr. Askvig and seconded by Mr. Christianson for staff to start the process of contacting owners for modifications to the Renaissance Zone boundaries. The motion passed unanimously with members Christianson, Keiser, Van Orman, Askvig and Huber voting in favor.

RENAISSANCE ZONE TECHNICAL ADVISOR – DISCUSSION

Mr. Tomanek said an application was received for another Renaissance Zone Technical Advisor. Ms. Katie Vasbinder has expressed her interest, lists a Master's degree in Architecture from North Dakota State University as well as work on the United Printing project as some of her qualifications, and that she believes in the development and enhancement of downtown.

MOTION: A motion was made by Mr. Christianson to appoint Ms. Vasbinder as the new Technical Advisor of the Renaissance Zone Authority. The motion was seconded by Mr. Keiser and passed unanimously with members Christianson, Huber, Keiser, Van Orman and Askvig voting in favor.

DOWNTOWN UPDATE PROVIDED BY THE DOWNTOWNERS ASSOCIATION

Ms. Herzog said street changes in the Downtown Sub Area Study Master Plan have indicated the conversion of the one-way streets included in Chancellor Square to two-way streets by using reconfigurations without major curb and gutter work. She said becoming more multi-modal is being encouraged with larger street widths and strategic placement plans. She said 5th Street south of the Civic Center would be reduced to three lanes to encourage pedestrian friendliness while still moving the same amount traffic and opening up development.

OTHER BUSINESS

Vice Chairman Huber asked if there is an update to give on the Quiet Rail project. Mr. Askvig said Burlington-Northern-Santa Fe Railroad was sent a letter recently requesting an update. Otherwise there is nothing to report.

ADJOURNMENT

There being no further business, Vice Chairman Huber adjourned the meeting of the Bismarck Renaissance Zone Authority at 5:00 p.m.

Respectfully Submitted,

Hilary Balzum
Recording Secretary

Chuck Huber
Vice Chairman

**BISMARCK RENAISSANCE ZONE AUTHORITY
STAFF REPORT**

BACKGROUND:		
Title: 223 East Main Avenue – CORE Technical Assistance Bank		
Status: Renaissance Zone Authority	Date: August 19, 2014	
Street Address: 223 East Main Avenue	Legal Description: The North 140 feet of Lots 1-2, Block 4, Original Plat	
Project Type: CORE Incentive Program	CORE Program: Technical Assistance Bank	
Applicant: Jim Barnhardt	Owner: Jim Barnhardt	
Project Description: The applicant is requesting assistance from the CORE Technical Assistance Bank to secure professional architectural and engineering services to determine feasibility of roof repairs, wall repairs, new windows and to design and draft a renovation proposal for the exterior of the building.		
PROJECT INFORMATION:		
Parcel Size: 7,000 square feet	Building Floor Area: 9,194 square feet	Lease Area: N/A
Total Project Cost: N/A	Architect/Engineer: Joseph P. Larrivee Architects	Incentive Grant Requested: Up to \$2,475 (architectural) Up to \$5,775 (engineering)
ADDITIONAL INFORMATION:		
<ol style="list-style-type: none"> 1. The applicant has requested the ability to work Joseph P. Larrivee (JPL) Architects. JPL is a professional architecture firm whose services are available through the Technical Assistance Bank. 2. The building is listed on the National Register of Historic Places and is considered a significant historic structure. Mixed reports indicate the 2-story building was initially constructed in 1877 or 1898, the building is one of the oldest structures in Bismarck. 3. A <i>Condition Assessment for Exterior Envelope Assemblies</i> report has been provided by JPL. The report indicates damages and wear to the roof membrane, failing stucco on portions of exterior walls, and rehabilitation of the roof and wall systems with a new exterior envelope system. The report also mentions that the exterior walls are suffering from “chronic water infiltration, moisture retention and on-going freeze-thaw damage.” JPL offers an approach to remedy the situation through various measures including; stabilizing the wall construction, preventing water infiltration along the top and face of the wall and to find/develop a solution to that solves the roof and wall issues outlined in the report. Based on information in the report and the applicant, the parapet wall along the north-facing façade has significant deterioration and allows moisture to infiltrate into the building. The additional architectural work requested through the CORE Program will build on this initial assessment. 		
FINDINGS:		
<ol style="list-style-type: none"> 1. The building is located within the Downtown Tax Increment Financing District. 		

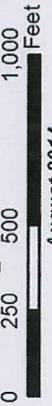
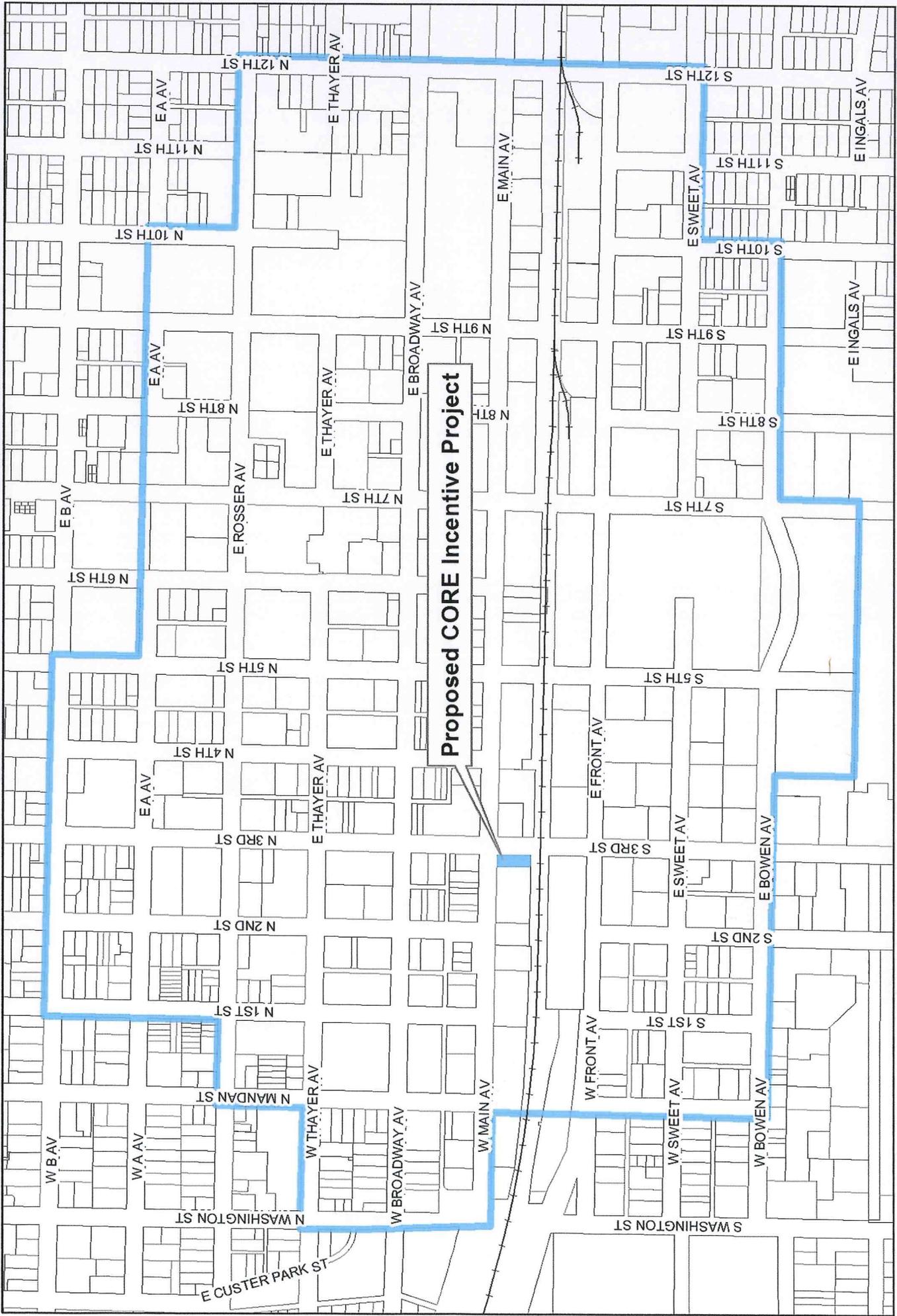
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2. Technical Assistance Bank grant funds may be used to secure professional architectural and engineering services for feasibility studies, preliminary review and design, renovation versus restoration opinions, renovation for reuse studies, site selection assistance, preliminary cost estimates, code analysis, landscape improvements and graphic design. The grant amount for an architect is limited to 30 hours of work with a rate of \$110.00 per hour, with a total dollar amount not to exceed \$3,300. Applicants are responsible for a 25% matching contribution; the total grant amount for architectural services shall not exceed \$2,475. Other technical service grant funds are limited to a total of 70 hours of professional service, not to exceed \$7,700. Applicants are responsible for a 25% matching contribution; the total grant amount for engineering services shall not exceed \$5,775. At this time the finite dollar amount has not been established due to the fact that design work will not commence until the final approval from the Board of City Commissioners has been received.

RECOMMENDATION:

Based on the above findings, staff recommends approval of the request from Jim Barnhardt for a Technical Assistance Bank grant, which would allow the applicant to procure the services of a licensed architect and a licensed engineer to assist with a feasibility study, preliminary review and design assistance, renovation vs. restoration options, preliminary cost estimates and code analysis. The maximum architectural grant amount of \$2,475.00 is based on an hourly rate of \$110.00 for a maximum of 30 hours and a 25% match provided by the applicant. The maximum engineering grant amount of \$5,775.00 is based on an hourly rate of \$110.00 for a maximum of 70 hours and a 25% match provided by the applicant.

Proposed CORE Incentive Programs Project - 223 East Main Avenue



J&R Vacuum & Sewing — Condition Assessment for Exterior Envelope Assemblies

Conducted by Joseph P Larrivee (JPL) Architects

15 May 2014

THE FOLLOWING Condition Assessment Report is a description and evaluation of the exterior envelope assemblies of the J&R Vacuum & Sewing Building¹ in Bismarck, North Dakota.

Site Visit and Preliminary Evaluation

The purpose of this survey is to evaluate the technical condition of the exterior building assemblies and to determine appropriate action and allocation of resources for building improvements.



Figure 1: South building elevation

¹ The building is located at
223 East Main
Bismarck, North Dakota.
www.jrsewfun.com

A walk through of the facility was conducted on April 9th, 2014. Conditions were evaluated by visual inspection and consultation with Jim Barnhardt of J&R Vacuum & Sewing. Joe Larrivee and Jason Krebsbach of JPL Architects² conducted the evaluation with assistance from Marv Miller of Twin City Roofing³ and Bob Kjonaas of Associated Builders⁴.

The Bismarck Tribune reports that the building housing J&R Vacuum is one of the oldest in the city:

The building that houses J&R Vacuum & Sewing at 223 E. Main Ave. was built in 1877 and is the oldest brick building in the city, according to Frank Vyzralek, a member of the Bismarck Historical Society.⁵

Jim Barnhardt states further that "the building was originally an ice house for Chateau De More's company and eventually a hotel. In later years it was occupied by Sears and then Office Machines and Furniture."

Figure 2: Panorama at north building elevation. Zimmerman's Furniture is located to the west.

² JPL Architects
2219 E Main Avenue
Bismarck, North Dakota 58501
(701) 222-1565
www.jplarchitects.com

³ Twin City Roofing
2720 34th St NW, PO Box 86
Mandan, North Dakota 58554
(701) 663-3196
www.twincityroofingllc.com

⁴ Associated Builders
2121 Lovett Ave.
Bismarck, North Dakota 58504-6740
(701) 258-6012

⁵ Carrie Sandstrom. Early Bismarck buildings find new uses. *The Bismarck Tribune*, April 2012

Rating Scales

We have assigned a rating for each evaluated system or assembly based on the scale that follows.

By assigning ratings to individual assemblies, chronic deficiencies can be quickly noted and the relative condition of a building system can be identified. Photographs and brief descriptions provide further insight into each deficiency.

Physical Serviceability Scale

Rating	Characteristics
9-10	New or Performing like new in all aspects
7-8	All major elements performing as intended, minor defects in some areas
5-6	Most major elements performing well even though aged/worn, a few major defects or numerous minor defects
3-4	Some major elements performing well even though aged/worn, some major defects and numerous minor defects
1-2	A few major elements performing well but many in failure, many minor defects
0	All aspects/elements in failure mode



Figure 3: This is an example of severely ravelled and delaminated roof patches.

Table 1: Physical Serviceability Rating Scale



Figure 4: This is the location of the electrical service entrance and rooftop condensers on the single story shed roof at the south elevation of the building. Jim reports that this has been a problematic roof area.

Existing Exterior Building Assemblies

Existing Roof Systems

The J&R building is comprised of two main roof areas: an upper roof and a lower roof. Both upper and lower areas drain in a mono-slope sheet-type fashion towards a single gutter and downspout at each level. There was no ponded water or obvious low spots visible at the time of our visit.

The roofs are covered with a number of roofing systems. Prior to submitting a replacement roofing proposal in June of 2013, Marv Miller of Twin City Roofing conducted an evaluation (including test cuts through the existing roof assembly) to determine the composition of the existing roof.

Mr. Miller has determined that the original structure (both upper and lower roofs) were roofed with a 'BUR' or 'built-up' roofing system consisting of alternating layers of tar paper and asphalt.



Figure 6: An overview of the upper roof taken from the southeast corner. The white surface is the protective coating system. The smaller grey areas indicate locations where the coating and membrane have been patched.

The National Roofing Contractors Association (NRCA) describes a BUR as follows:

Built up roof membranes, referred to by the acronym BUR, have been in use in the U.S. for more than 100 years. These roof systems are commonly referred to as "tar and gravel" roofs. BUR systems generally are composed of alternating layers of bitumen and reinforcing fabrics that create a finished membrane. The number of plies in a cross section is the number of plies on a roof: The term "four plies" denotes a four ply roof membrane construction. Sometimes, a base sheet, used as the bottommost ply, is mechanically fastened. Built up roofs generally are considered to be fully adhered if applied directly to roof decks or insulation.⁶

This was a common roofing system at the time this structure was



Figure 5: The parapet at the lower roof. Removed downspouts are visible in this photo.

⁶ National Roofing Contractors Association. Built-up Roof (BUR) Membranes. <http://www.nrca.net/consumer/types/bur.aspx>, December 2012



Figure 7: An overview of the lower roof. The lower roof is comprised of a BUR system without the foam and protective membrane and coating system.

built and the original installation most likely serviced the facility well for many years.

Sometime in the recent past, the upper BUR roof was resurfaced with a 'spray/roll-on' product. This is the roofing system visible today. It is white in color and seems to be comprised of a layer of foamed-in-place insulation covered by a layer of protective fabric (perhaps fiberglass) and a coating system (perhaps rolled into place). Mr. Miller believes that this system was installed roughly 15 years ago.

We cannot say with certainty what specific type of 'spray/roll-on' product that was installed. The National Roofing Contractors Association (NRCA) refers to these systems as SPF or 'Spray polyurethane foam-based' roof systems. The NRCA describes the system as follows:

SPF-based roof systems are constructed by mixing and spraying a two-component liquid that forms the base of an adhered roof system. SPF can be installed in various thicknesses to provide slope to drain or meet a specified thermal resistance (R-value). A protective surfacing is then applied to the foam to provide protection from the elements.

The first component of an SPF-based roof system is rigid, closed cell, spray polyurethane foam insulation. The foam is composed of two components: isocyanate and polyol. Transfer pumps are used to get the components to a proportioning unit that properly meters the two at a one to one ratio and heats and pumps them through dual hoses. The components are mixed at the spray gun, which is used to apply them to a substrate.

The second component, the protective surfacing, typically is a spray applied elastomeric coating, though hand and power rollers can be used. The protective surfacing also can be a membrane, such as a fleece backed thermoset single ply membrane. The purpose of the surfacing is to provide weatherproofing, protect the foam from UV exposure, provide protection from mechanical damage and assist with the fire-resistant characteristic of the roof system.⁷

This sounds similar to the system currently installed on the upper roof of the J&R Building.

The original BUR system remains in-place on the lower roof.



Figure 8: The severely ravelled membrane on the parapet of the upper roof. The individual fibers of the protective membrane are visible. A pen is present for scale.



Figure 9: Grey Roof patches: patches in the past have used a different coating system – or at least it is a different color: grey vs. white. Adhesion of the patch appears poor. Some fraying of the existing membrane is also visible in this photo.



Figure 10: 'Bubbles' from the uneven installation of the insulation below are telegraphed through to the roof surface.

⁷ National Roofing Contractors Association. Spray polyurethane foam-based (SPF) roof systems. <http://www.nrca.net/roofing/SpraypolyurethanefoambasedSPFroofsystems898>, April 2014

Existing Roof Conditions

Physical Serviceability Scale Rating: 2

The upper roof is in poor condition. At fifteen years of age, we believe it has reached the end of its expected service life.

The top layer of the upper roof — the protective coating and membrane system — is worn and ravelled⁸. As the protective coating has broken down over time, the membrane has been exposed to the sun, weathered and become brittle. The brittle membrane has led to cracks and openings which we observed while on the roof.

Jim Barnhardt reports that leaks have been a problem when large snow loads are present on the roof surface. When snow is present, small drips will appear in the ceiling of the second floor warehouse area. These leaks seem to stop once snow has melted and do not reappear during the rains of summer. These leaks are due to the membrane cracks visible in the photos to the right — and probably many other cracks and breaks that are not visible.

Jim reports that the roof has required frequent, ongoing maintenance for these and related issues. Maintenance efforts are clearly evident in the large number of grey patches that cover the roof surface. Despite all of the patching that has happened in the past, many cracks and openings still remain.

It is clear that the rate of the roof failures has now outpaced the reasonable rate that the roof can be repaired.

The roof should be scheduled for replacement.

Ironically, the lower roof — which may be older than the upper roof — appears to be in better condition.

This may be attributed to the 'robustness' of the time-proven BUR system. While the system was probably more labor intensive and expensive than the spray-applied system on the upper roof. It has stood the test of time and ongoing repairs appear to have been more effective.



Figure 11: This is a large break in the existing roof protection membrane. This break allows water penetration to the insulation and old BUR surface below. Due to the presence of the old roof below, water that penetrates the top roof surface is most likely trapped between the two roof systems. Some of it eventually makes its way through to the second floor ceiling in the form of small leaks.

⁸ Merriam-Webster's online dictionary defines ravelled as "to become divided into separate threads" This term also indicates frayed and worn surfaces.



Figure 12: This is a large break in the existing roof protection membrane at the parapet along the east edge of the upper roof. These large cracks were fairly typical at the top of the parapet wall.



Figure 13: The roof protection membrane has totally peeled away from the face of the masonry chimney.

Existing Exterior Wall Systems

The exterior walls of the J&R building appear to be constructed from multiple wythes of common brick⁹. The exterior surface of this brick has been painted, overlaid with a stucco system or coated with the SPF-based roof systems described above.

Existing Wall Conditions

Physical Serviceability Scale Rating: 4

Existing exterior walls are in poor condition with consistent surface defects and possible structural instability.

Where the exterior brick walls have been painted, the paint is typically bubbled and peeling. In the best case, the paint is simply peeling from the surface of the brick. In the worse case, the paint has peeled away with large fragments of the brick attached.

A stucco system was installed onto the surface of the brick at the east, west, south and portions of the north elevation of the building. On the west side, it appears that this system was put in place when the adjacent building — the building between J&R and Zimmermans — was removed (sometime in the past 10-20 years?). The exposed surface of the common wall was most likely NOT weather tight and the stucco system was installed to seal the surface of the soft, exposed common brick. This same stucco system is also present at the single story south elevation of the building.

At the north and east elevations, the system appears to be performing fairly well. At the west and south elevations, the system has failed. Overtime the metal lath system used to hold the stucco in place has rusted and failed. Large sections of the stucco have sagged from the brick surface or have fallen away completely and been removed. Large sections of the soft, common brick have been exposed to the weather (Note Figure 20). At the west elevation large portions of the stucco are gone and the substrate of the common brick is now exposed. At the south elevation, the stucco is in process of falling away from the wall and total failure is eminent (Note Figure 19).

On the second floor of the building at the south elevation, the existing brick surface has been coated with the same 'SPF' system used on the roof. Like the paint and stucco, this system has also failed and is sagging away from the wall surface. Please see Figure 15. As in the case of the wall paint, we believe that the surface of the brick has failed and is now adhered to and falling away with the foam insulation.

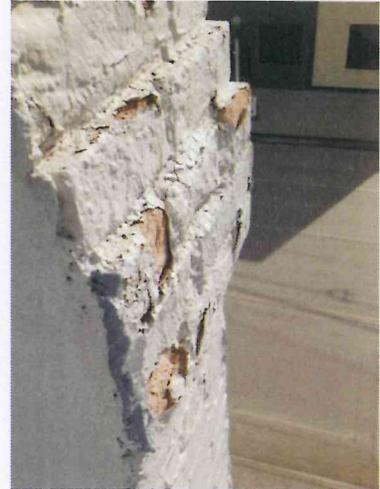


Figure 14: Peeling paint and crumbling brick at the parapet in the southeast corner of the upper roof.

⁹ Merriam-Webster's online dictionary defines 'common brick' as "brick made from natural clay and having no special surface treatment" Common brick has a relatively soft, spong-like surface and is susceptible to deterioration and weathering when exposed to water and the elements.



Figure 15: This is the exterior wall at the second floor south elevation. We believe that the same system used to insulate and overcoat the roof was used here. Note that large areas of the insulation have delaminated from the surface of the brick and are sagging away from the building. Jim Barnhardt reports that brick dust falls from this area onto the shop floor from an open joint in the ceiling.

Wall System Failure

We believe that moisture infiltration into the soft surface of the existing common brick wall finishes is leading to the failure of these cladding systems. We believe that the source of this water is failed roof and parapet flashings and the open surfaces of the wall cladding materials themselves. Furthermore, these cladding systems (the paint, stucco and foam) serve to trap any water that infiltrates the wall and hold it in place. This is a critical problem during the winter months when the trapped water infiltrates the surface of the brick and initiates the damaging freeze-thaw cycle. Please note that the parapet openings shown in Figure 12 and Figure 16 are an obvious source of water infiltration.

Once water is trapped in the soft surface of the common brick, the brick is susceptible to accelerated deterioration via freeze-thaw action. In the case of the paint, the trapped water has caused the paint to lose adhesion to the surface of the brick or caused the surface of the brick to split and fall away. Please see Figure 14 above.

In the case of the plaster, the trapped water has led to failed metal lath¹⁰ and fasteners. The failure of the SPF system or foam on the walls is similar to the failure of the paint. Freeze-thaw action has caused the surface of the brick to break away from the rest of the wall. The foam and the rest of the wall coating falls away with it. Please see Figures 15 and 16 above.

This deterioration is also evident at the interior of the building. Spalling of the brick was noticeable at the interior surface of the exterior wall near the stairs to the upper level. Also, Jim Barnhardt reports that 'brick dust' is constantly falling from the overhead joint between the double and single story portions of the building. This location correlates with the foam-covered exterior wall noted above. Please see Figure 15 above.



Figure 16: Roof parapet. Note that the foam coating adhesion to the brick has failed and a large piece of brick is falling from the opening.



Figure 17: This is a large hole in the foam wall coating system.

¹⁰ Metal lath is a metal mesh-type product that is applied in sheets and used to hold the plaster to the wall surface.



Figure 18: Large areas of the plaster wall cladding at the west elevation are missing.



Figure 19: This is the plaster at the first story of the south elevation. Note the gap between the plaster cladding and the wall surface.

Recommendations

Given our investigation of the existing conditions and circumstances outlined above, we recommend the following 3-step process to address our concerns:

1. Clean-up and repair of the existing roof and wall systems.
2. Stabilize the existing roof and wall systems.
3. Rehabilitate the roof and wall systems with a new envelope system.

Clean-up and Repair

As reported above, there are large portions of the exterior wall finishes (plaster and foam) that have delaminated from the brick wall substrate. These areas need to be removed and the substrate below evaluated for damage and repaired if necessary. Based on damage that we have seen in exposed areas and based upon the spalling and brick dust that have settled out of ceiling and wall cracks, we can safely assume that the surface of the brick will be delaminated and damaged. We will try to work with this surface damage without significant repair. However, if the brick masonry is substantially damaged, we anticipate some replacement or re-pointing of the masonry may be required in some areas before we can proceed with new wall finishes.

We will begin this process by removing the damaged plaster from the wall on the south side of the building. Bob Kjonaas from Associated Builders has prepared a proposal for this work. Please find it attached. While the scope of this work does not address the entire facility, removal of these wall finishes will allow us to confirm some of the assumptions of this report and plan the specific work required to complete the rest of the project.

Roof Systems

Roof replacement is probably the simplest component of this rehabilitation effort. However, this work can only be considered once a direction and plan has been established to stabilize and rehabilitate the wall system.

The exterior walls extend above and beyond the surface of the existing roof to form a 'parapet'¹¹ wall. The 'inside' of the parapet is covered with the foam roof system. The foam will need to be removed and the condition of the wall analyzed before the roofing work can continue. The inside face of the parapet will most likely



Figure 20: Large areas of the plaster wall cladding at the west elevation are missing.

¹¹ Wikipedia defines parapet as a 'barrier which is an extension of the wall at the edge of a roof, terrace, balcony, walkway or other structure. Where extending above a roof, it may simply be the portion of an exterior wall that continues above the line of the roof surface, or may be a continuation of a vertical feature beneath the roof such as a fire wall or party wall.'

need to be 'furred out' or covered with new exterior sheathing before the roof can be reinstalled.

Once the exterior walls and parapets of the building have been stabilized, the existing roof can be removed and replaced.

In-line with Twin City Roofing's proposal of July 4, 2012, the existing foam roof system will be removed in its entirety all the way down to the top of the existing roof deck. At this point the condition of the deck can be evaluated and any damaged or rotted areas removed and replaced. Once the deck is deemed acceptable, the roof will be replaced. As per Twin City's proposal, the roof will be replaced with new insulation and an EPDM rubber membrane. We recommend that the rubber membrane be adhered to the insulation and existing roof substrate. This reduces the use of through-roof fasteners which can become a condensation problem as they 'transfer' cold from outside to inside.

A new metal cap flashing system will be installed to protect the tops of the existing walls and prevent water infiltration.

Wall Systems

As noted in our report above, the exterior walls of the J&R building are suffering from chronic water infiltration, moisture retention and ongoing freeze-thaw damage. We propose to remediate the current conditions with the following approach:

1. We will stabilize the existing wall construction as much as is reasonably possible to prevent further damage and deterioration.
2. We will prevent liquid water infiltration into the wall assembly. We will do so at the top of the wall and along the face of the wall. This will prevent the majority of existing problem.
3. Moisture vapor will continue to penetrate the wall system from both the exterior and the interior of the building. We will allow (encourage) moisture (water vapor) to escape from the wall assembly before the freeze-thaw cycle can cause significant damage.
4. We will seek a solution that both solves the roof and wall issues outlined above and provides a pleasing upgrade to the exterior of the building.

Wall Stabilization — Once the areas of concern at the exterior of the building have been cleaned up and repaired we will devise a wall stabilization system.

At this time we anticipate a metal sub-frame and sheathing system that will allow us to stabilize the wall with additional structure and

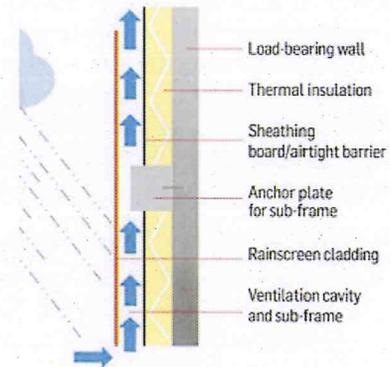


Figure 21: Rainscreen diagram.

create a surface for new weatherization and finishes. At the parapets this system will be located on both sides of the wall forming a 'sandwich.' We will propose the use of through-wall versus surface fasteners to hold this framing system in place. Through-wall fasteners will be bolted in place at the interior of the building wherever possible. This will allow larger fasteners that will not rust away as has occurred in the past. Stainless steel or galvanized fasteners could be employed to reduce the rate of corrosion.

Water and Moisture Protection — Water infiltration will be prevented via a number of measures: 1) As mentioned above, we will install a new metal cap flashing system to prevent water infiltration at the top of the existing walls. We will also flash the new rubber membrane roof over the tops of the parapet walls to form a second layer of protection; 2) The surface of the new exterior wall sheathing will be covered with a Tyvek¹² weatherization membrane. Tyvek is a breathable construction membrane that allows water vapor to pass through but prevents the infiltration of liquid water. This will allow the wall system to stay relatively dry during most times of the year — keeping out the rain and snow and allowing interior moisture to pass through and ventilate the wall system.

New Exterior Finishes — New finishes will be applied to the exterior face of the sheathing and weatherization barrier. We anticipate proposing the use of James Hardie Board or some other type of cementitious fiberboard that is not susceptible to exterior moisture or weather-related damage. This product can be installed in a variety of styles and configurations and can be painted or order prefinished from the factory.

This new system of metal framing, sheathing and weatherization barrier will 'stand-off' from the exterior face of the existing wall allowing air to circulate through the system to ventilate the wall system.



Figure 22: Tyvek diagram.

¹² www.dupont.com/Tyvek

Notes on Building Maintenance

Building maintenance required for any facility begins the day the building is finished, lasts the lifetime of the building (that is, if the building is expected to serve a useful purpose), and is a costly and thankless endeavor! The writer, Stuart Brand, said it best in his insightful 1994 study on the lifetime and aging of buildings:

No wonder people get in a permanent state of denial about the need for building maintenance. It is all about negatives, never about rewards. Doing it is a pain. Not doing it can be catastrophic. A constant draining expense, it never makes money. You could say it does save money in the long run, but even that is a negative because you never see the saving in any accountable way. When after months or years of nagging, you finally do the work—refinish the floor, hire the roofers, replace the damned furnace—you have nothing new and positive, just a negated negative. The problem that needed fixing turned into an even worse problem during the chaos of repair, and then it went away.¹³

Any successful building maintenance program requires the funding of depreciation on an annual basis—continually—throughout the lifetime of the structure. Depreciation must be tracked for all building systems and components (such as the systems listed in this report)—and especially those components and systems that require frequent maintenance or replacement.

Simple depreciation can be calculated by dividing the total replacement cost for a particular component or system by the expected lifespan (in years). For example, given a roofing system with a replacement value of \$40,000 and a reasonable expected lifespan of 20 years, \$2,000 must be set aside annually to repair and replace this system when the time requires. The example is calculated as follows:

$$\text{Depreciation (Roofing)} = \frac{\$40,000}{20 \text{ years}} = \$2,000/\text{year}$$

The formula can be made more accurate by using current replacement cost data adjusted for inflation and local construction conditions. Ideally this information should also be updated on an annual basis.

If depreciation can be funded on an annual basis, the dollars expended can be maintained at the level of 'Preventative Maintenance' and 'Minor Repair' in the graph at Figure 24.¹⁴

Please note that unchecked deterioration accelerates over time at a logarithmic rate. Before long, funding deferred maintenance and ignored depreciation becomes untenable. This is illustrated in the 'ACCELERATING DETERIORATION' curve at Figure 24. As these curves approach the vertical plane, repair costs

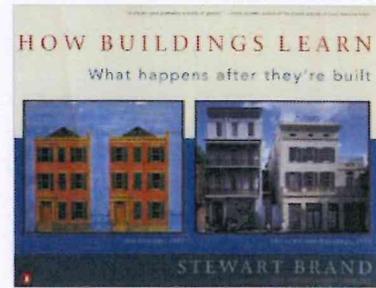


Figure 23: How Buildings Learn by Stewart Brand

¹³ Stuart Brand. *How Buildings Learn: What Happens After They're Built*. Viking Penguin, A Division of Penguin Books USA, first edition, 1994. ISBN 0 14 01.3996 6

Wikipedia defines depreciation as "the allocation of the cost of assets to periods in which the assets are used"

¹⁴ Stuart Brand. *How Buildings Learn: What Happens After They're Built*. Viking Penguin, A Division of Penguin Books USA, first edition, 1994. ISBN 0 14 01.3996 6

become unreasonable and failure of the structure is imminent—at best, the structure will become unusable.

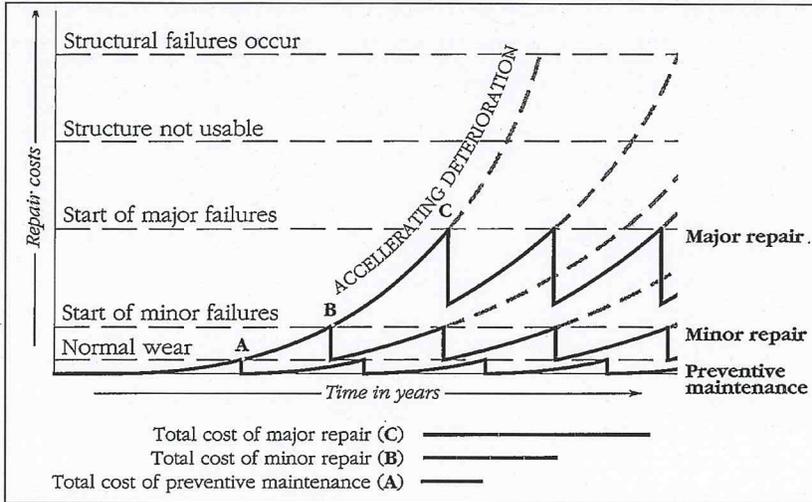


Figure 24: Preventative Maintenance Diagram. This diagram is from *How Buildings Learn*, p. 112

Ongoing maintenance is critical to the long-term viability of a structure.

References

National Roofing Contractors Association. Built-up Roof (BUR) Membranes. <http://www.nrca.net/consumer/types/bur.aspx>, December 2012.

National Roofing Contractors Association. Spray polyurethane foam-based (SPF) roof systems. <http://www.nrca.net/roofing/SpraypolyurethanefoambasedSPFroofsystems898>, April 2014.

Stuart Brand. *How Buildings Learn: What Happens After They're Built*. Viking Penguin, A Division of Penguin Books USA, first edition, 1994. ISBN 0 14 01.3996 6.

Carrie Sandstrom. Early Bismarck buildings find new uses. *The Bismarck Tribune*, April 2012.



A Division of Associated Pool Builders, Inc.

*2121 Lovett Avenue • PO Box 2318 • Bismarck, ND 58502
Ph 701.258.6012 • Fax 701.224.9729*

April 23, 2014

JPL Architects
2219 East Main Avenue
Bismarck, ND 58501

Re: J & R Vacuum & Sewing
Remove Stucco from Lower South Wall

Mr. Larrivee;

I have worked out what I would call a budget estimate for the removal of the stucco on the lower south wall at J & R Vacuum & Sewing at 223 East Main Avenue, Bismarck, ND.

After the sign and electrical conduit are removed, it would be our intent to cut the stucco into small areas, approximately 2' wide by 4' long. That way we can somewhat control how the stucco would come off or at least how much would come off at one time. In some areas the opposite may be true, it could be that the existing masonry would end up getting damaged just trying to remove the stucco.

We would also need to remove the downspouts to get the stucco off. Once the material is removed the downspouts and the signage would be reinstalled. I did not make any allowance in my budget estimate for new material going back on the building. I have allowed for temporary caulking to help seal around the door frames. My thought was that the building would have the old masonry showing until such time that an overall plan for the structure can be developed.

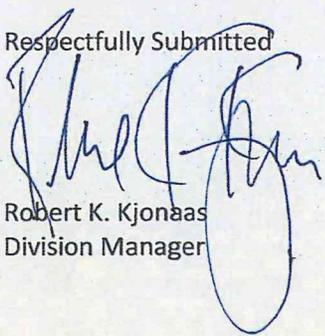
That said it might be a case where the old masonry wall just isn't up to holding out the elements. In that case a temporary siding may have to be applied.

The old stucco would be hauled off site and the store parking and south door would remain in service while the work progress'.

Our estimate to remove the sign, power conduit, downspouts and stucco, then reinstall the downspouts, power conduits and sign is \$7,500.00.

I can make myself available for further conversation about this project. Just call.

Respectfully Submitted



Robert K. Kjonaas
Division Manager

Proposal

P.O. Box 86
Mandan, ND 58554
701-663-3196



P.O. Box 545
Dickinson, ND 58602
701-483-7663

Attn: Ray

1-800-767-3578 • FAX 701-663-0027

PROPOSAL SUBMITTED TO Northwest Contracting		PHONE	DATE June 19, 2013
STREET 3420 E Century Avenue		JOB NAME J & R Vac & Sew	
CITY, STATE AND ZIP CODE Bismarck, ND 58501		JOB LOCATION Bismarck, ND	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

- 1) Remove existing roofing down to wood deck.
- 2) Install 2 layers 2" polyisocyanurate insulation total R-24.
- 3) Install 1 layer 1/2" recovery board.
- 4) All insulation mechanically fastened to deck with screws and plates.
- 5) Apply a 60-mil EPDM rubber roof system fully adhered to the recovery board.
- 6) Flash all walls and curbs with 60-mil EPDM flashing membrane. All details as per manufacturer specifications.
- 7) Furnish and install new prefinished wall cap at new walls, drip edge and flashing below IEFS at low roof area.
- * Ten (10) year manufacturer's warranty package.

Notes:

- Price does not include new gutters and downspouts.
- Inside of parapet will have to be lined with new plywood so we can flash to it. Not included in price below.
- Arrangements will have to be made with neighbor so we can set up on west side of building.

Alternate: Install 2 layers of 3" insulation total R-40 "add" \$6,320.00

"Plumbing, mechanical, or electrical not included unless specified above."

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

Fifty-five thousand, one hundred fifty and 00/100----- dollars (\$ 55,150.00).

Payment to be made as follows:

Upon completion of roofing

A late charge of 1½% per month will be added to charges not paid within 30 days of billing.
We reserve the right to file a mechanic's lien if not paid within 30 days of billing.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature

MARVIN MILLER, PRESIDENT

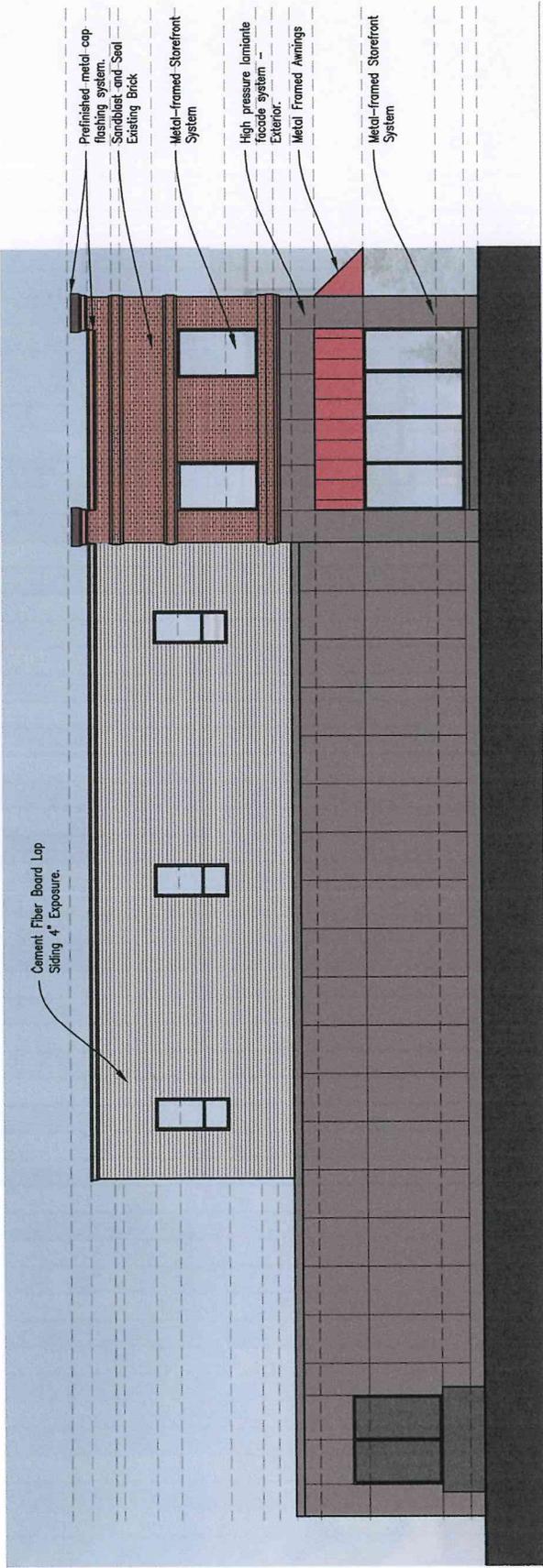
Note: This proposal may be Thirty (30) days withdrawn by us if not accepted within _____ days.

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Signature _____

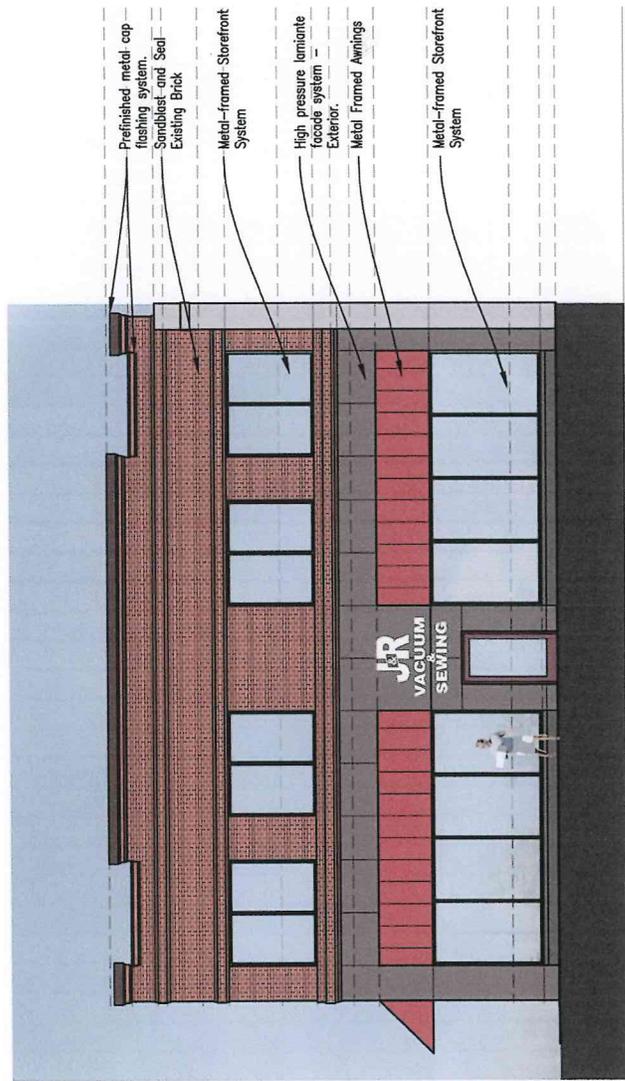
Date of Acceptance: _____



Cement Fiber Board Lap Siding 4" Exposure.

- Prefinished metal cap flashing system.
- Sandblast and Seal Existing Brick
- Metal-framed Storefront System
- High pressure laminate facade system - Exterior.
- Metal Framed Awnings
- Metal-framed Storefront System

EAST ELEVATION



- Prefinished metal cap flashing system.
- Sandblast and Seal Existing Brick
- Metal-framed Storefront System
- High pressure laminate facade system - Exterior.
- Metal Framed Awnings
- Metal-framed Storefront System

JR VACUUM & SEWING

NORTH ELEVATION

PRELIMINARY
NOT FOR CONSTRUCTION

JOSEPH P. JARRIGE ARCHITECTS PC
2219 EAST MAIN AVENUE SUITE A
BISMARCK NORTH DAKOTA 58501

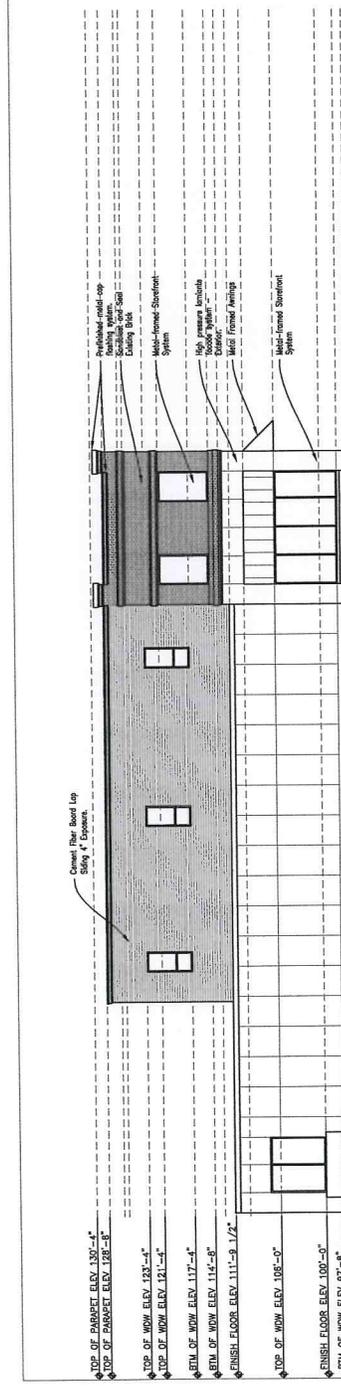
P: (701) 226-1888
F: (701) 226-1870
e: joe@jpaarchitects.com
w: www.jpaarchitects.com

J & R VACUUM & SEWING
EXTERIOR RENOVATION
BISMARCK, ND

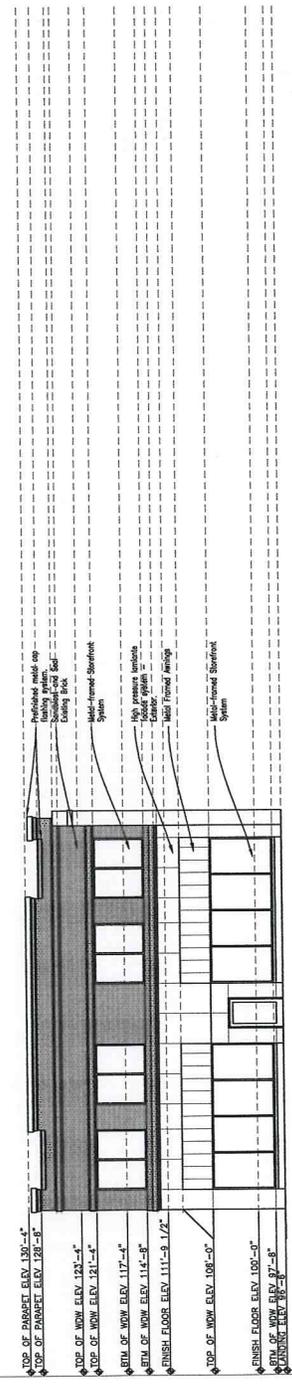
BUILDING ELEVATIONS

PROJECT NUMBER: 1318
ISSUED: 1 August 2014
DRAWN BY: JPL
CHECKED BY: JPL
FILENAME: Elev-Sect.dwg

A4.1



2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

BISMARCK RENAISSANCE ZONE PROGRAM - PROJECT STATUS

Project	Applicant	Street Address	Project Type	RZA Hearing	Commission Approval	State Approval	Beginning Building Market Value	Proposed Investment	Estimated Building Value w/investment	Estimated Property Tax Benefit	Estimated State Income Tax Benefit	Completion Date	Actual Investment	2014 Building Market Value	Jobs Created	Parcel ID
01-B	George T. Duemeland Revocable Trust	301 East Thayer Avenue	Purchase w/Major	12/10/2002	12/17/02	1/2/2003	\$77,000	\$44,366	\$150,000	\$18,095	\$5,650	12/1/2003	\$66,997.00	\$207,800	0	0001-065-001
02-B	Dakota Building Partnership	501 East Main Avenue	Purchase - Land	1/6/2003	01/07/03	2/26/2003	\$444,200	\$300,000	\$540,000	\$32,023	\$7,500	1/31/2007	\$284,195.00	\$914,400	0	0001-012-000
03-B	Chive Square Development LLC	521 East Main Avenue	Purchase w/Major	2/7/2003	02/11/03	4/21/2003	\$500	\$600,000	\$500,000	\$61,000	\$2,500	12/31/2007	\$618,111.00	\$1,340,200	0	0001-012-001
04-B	Duемland Commercial LLP	301 East Thayer Avenue	Lease	7/14/2003	07/22/03	9/25/2003	N/A	N/A	N/A	N/A	\$609	12/1/2003	N/A	N/A	2	N/A
05-B	John & Barbara Grinsteiner	200 North Mandan Street	Purchase	10/7/2003	10/14/03	10/16/2003	\$43,300	\$5,000	\$77,500	\$5,550	\$2,000	10/17/2003	N/A	\$109,800	2	0001-084-025
06-B	Woodman's	114 North 4th Street	Rehab/Historic	10/30/2003	11/15/03	11/21/2003	\$49,900	\$125,000	\$120,000	\$15,500	\$25,000	1/26/2005	\$129,333.00	\$137,900	1	0001-050-015
07-B	Berisch Properties LLC	207 East Front Avenue	Rehab	11/19/2003	11/25/03	12/9/2003	N/A	N/A	N/A	\$186,375	\$8,200	1/19/2005	\$734,707.00	\$2,306,400	0	0001-046-005
08-B	Northland Financial	207 East Front Avenue	Lease	11/19/2003	11/25/03	12/9/2003	N/A	N/A	N/A	N/A	\$116,000	9/16/2004	N/A	N/A	14.25	N/A
09-B	Berisch Properties LLC	218 South 3rd Street	Rehab	11/19/2003	11/25/03	12/9/2003	\$142,300	\$329,150	\$840,000	\$107,600	\$3,000	1/20/2005	\$378,013.00	\$638,300	20	0001-046-030
10-B	Lee Enterprises Inc.	707 East Front Avenue	Rehab	12/15/2003	12/16/03	12/29/2003	\$2,598,200	\$2,266,624	\$4,408,200	\$550,000	\$1,248,000	10/28/2005	\$2,400,776.00	\$4,965,900	7.5	0001-036-001
11-B	PJCM Partners, LLP	901/807 East Front Avenue	Rehab	3/9/2004	03/23/04	3/29/2004	\$151,300	\$298,840	\$420,000	\$52,795	\$2,700	6/30/2005	\$409,946.00	\$989,700	3	0005-035-015
12-B	Mark Garner	302 East Thayer Avenue	Rehab	5/25/2004	05/25/04	6/4/2004	\$49,900	\$85,000	\$125,000	\$15,715	\$4,700	12/6/2005	\$103,445.00	\$150,200	2.5	0001-106-020
13-B	AW Enterprises	216 North 2nd Street	Rehab	8/10/2004	08/10/04	8/18/2004	\$173,500	\$208,814	\$275,000	\$34,573	\$12,500	6/22/2005	\$283,473.00	\$329,900	1	0001-069-005
14-B	Deryl Rosenau & Clarence Sayer	225 West Broadway Avenue	Purchase	2/7/2005	02/08/05	2/16/2005	\$176,000	\$65,550	\$182,500	\$21,470	\$1,750	12/28/2007	\$70,002.00	\$255,300	0	0001-039-065
15-B	J & L Development, Inc.	324 North 3rd Street	Rehab	11/15/2004	12/14/04	2/16/2005	\$500,000	\$750,000	\$900,000	\$113,500	\$15,000	9/15/2006	\$698,996.00	\$773,900	6	0001-108-001
16-B	Progne Grille, Inc.	121 North 4th Street	Lease	3/2/2005	03/08/05	3/22/2005	N/A	\$128,000	N/A	N/A	\$3,500	9/24/2005	N/A	N/A	8	N/A
17-B	Zorels Jewelry Inc.	221 South 9th Street	New Construction	9/20/2004	03/08/05	3/22/2005	\$20,100	\$200,000	\$200,000	\$25,000	\$4,000	7/30/2005	\$191,897.54	\$216,600	6	0005-035-040
18-B	Susan & Ed Stroh/Palae & More	122 East Rosser Avenue	Rehab	8/25/2005	08/13/05	9/21/2005	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
19-B	CCC Properties, LLP	310 South 5th Street	Purchase	8/25/2005	08/13/05	9/21/2005	\$410,400	\$169,000	\$450,000	\$69,500	\$10,500	7/1/2006	\$298,372.00	\$470,700	0	0001-067-011
20-B	American Bank Center	320 North 4th Street	Rehab	9/21/2005	09/27/05	10/4/2005	\$909,500	\$3,100,000	\$2,000,000	\$298,780	\$250,000	8/1/2009	\$2,301,476.00	\$2,361,500	10	0001-106-001
21-B	Foot Care Associates PC	310 South 5th Street	Lease	1/12/2006	01/24/06	2/3/2006	N/A	N/A	N/A	N/A	\$1,000	4/1/2006	N/A	N/A	3.5	N/A
22-B	Denyria, Inc. (Bakke & Roller)	310 South 5th Street	Lease	1/12/2006	01/24/06	2/3/2006	N/A	N/A	N/A	N/A	\$10,500	3/13/2006	N/A	N/A	12	N/A
23-B	Duемland Properties, LLP	302 South 3rd Street	Purchase	1/12/2006	02/14/06	2/16/2006	\$312,700	\$190,900	\$345,000	\$44,840	\$4,500	12/1/2006	\$227,995.00	\$192,400	0	0001-065-001
24-B	Duемland Properties, LLP	312 South 3rd Street	New Construction	1/12/2006	02/14/06	2/16/2006	N/A	\$215,223	\$250,000	\$32,500	\$4,100	12/1/2006	\$233,855.00	\$369,700	0	0001-065-003
25-B	Metochka Media, LLC	208 North 4th Street	Purchase	1/12/2006	02/14/06	2/16/2006	\$247,000	\$71,612	\$320,000	\$41,600	\$1,000	12/27/2007	\$91,672.00	\$288,500	0	0001-064-015
26-B	River Q, LLC	312 South 3rd Street	Lease	4/13/2006	04/25/06	5/5/2006	N/A	N/A	N/A	N/A	\$25,000	12/4/2006	N/A	N/A	21	N/A
27-B	Gem Group LLC	412 East Main Avenue	Rehab	5/23/2006	05/23/06	5/30/2006	\$47,800	\$40,000	\$75,000	\$5,990	\$6,500	10/20/2006	\$50,292.00	\$71,600	0	0001-046-030
28-B	Heartland Mortgage Company	412 East Main Avenue	Lease	5/23/2006	05/23/06	5/30/2006	N/A	N/A	N/A	N/A	\$10,500	7/1/2006	N/A	N/A	4	N/A
29-B	Bismarck MSA dba Verizon Wireless	302 South 3rd Street	Lease	7/24/2006	07/25/06	8/2/2006	N/A	\$100,000	N/A	N/A	\$172,000	9/14/2006	N/A	N/A	6	N/A
30-B	Main Avenue Properties, LLC	122 East Main Avenue	New Construction	10/9/2006	10/10/06	12/5/2006	N/A	\$3,020,990	\$3,200,000	\$370,000	\$15,000	12/17/2007	\$2,370,152.00	\$2,518,500	0	0001-054-023
31-B	Dakota Office Building, LLC	300 North 4th Street	Purchase	2/5/2007	02/13/07	2/20/2007	\$1,095,900	\$250,000	\$1,400,000	\$80,000	\$25,000	1/30/2008	\$407,003.00	\$1,288,000	0	0001-106-015
32-B	American Legal Services PC	521 East Main Avenue	Lease	4/2/2007	04/10/07	4/19/2007	N/A	N/A	N/A	N/A	\$10,000	8/1/2007	N/A	N/A	5	N/A
33-B	Internet Design & Consulting	521 East Main Avenue	Lease	4/2/2007	04/10/07	4/24/2007	N/A	N/A	N/A	N/A	\$10,000	8/1/2007	N/A	N/A	1	N/A
34-B	Larson Latham Hewitt LLP	521 East Main Avenue	Lease	5/14/2007	05/22/07	6/9/2007	N/A	N/A	N/A	N/A	\$60,000	7/11/2007	N/A	N/A	9	N/A
35-B	Retirement Consulting LLC	521 East Main Avenue	Lease	5/14/2007	05/22/07	6/9/2007	N/A	N/A	N/A	N/A	\$12,500	7/11/2007	N/A	N/A	2	N/A
36-B	Jason Kirchmeier & Associates	501 East Main Avenue	Lease	6/20/2007	06/28/07	7/11/2007	N/A	N/A	N/A	N/A	\$30,000	8/1/2007	N/A	N/A	1	N/A
37-B	Roger Koski & Associates	501 East Main Avenue	Lease	6/20/2007	06/28/07	7/11/2007	N/A	N/A	N/A	N/A	\$30,000	8/1/2007	N/A	N/A	1	N/A
38-B	Melvie Financial Planning	501 East Main Avenue	Lease	6/20/2007	06/28/07	7/11/2007	N/A	N/A	N/A	N/A	\$35,000	8/1/2007	N/A	N/A	2	N/A
39-B	Westgard Financial Services	501 East Main Avenue	Lease	6/20/2007	06/28/07	7/11/2007	N/A	N/A	N/A	N/A	\$30,000	8/1/2007	N/A	N/A	1	N/A
40-B	Rainmaker Guato Ventures, LLC	116 North 5th Street	Purchase w/Major	9/4/2007	09/11/07	10/30/2007	\$166,800	\$137,500	\$300,000	\$21,000	\$5,400	5/21/2008	\$142,050.00	\$352,800	4	0001-046-015
41-B	The Rainmaker Group, Inc.	116 North 5th Street	Lease	11/14/2007	12/18/07	12/27/2007	N/A	N/A	N/A	N/A	\$590,000	6/12/2008	N/A	N/A	4	N/A
42-B	Capital Holdings, LLC/Roger Zink	402 East Main Avenue	Rehab	12/5/2007	12/18/07	12/27/2007	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
43-B	Kinsico, Inc.	402 East Main Avenue	Lease	12/5/2007	12/18/07	12/27/2007	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
44-B	Rick & Theresa Kermela	413 East Broadway	Rehab	1/14/2007	1/21/07	1/11/2008	\$164,400	\$136,636	\$263,500	\$28,000	\$28,000	10/1/2008	\$176,955.00	\$281,700	1	0001-046-001

BISMARCK RENAISSANCE ZONE PROGRAM - PROJECT STATUS

Project	Applicant	Street Address	Project Type	RZA Hearing Approval	Commission Approval	State Approval	Beginning Building Market Value	Proposed Investment	Estimated Building Value w/investment	Estimated Property Tax Benefit	Estimated State Income Tax Benefit	Completion Date	Actual Investment	2014 Building Market Value	Jobs Credited FTE	Parcel ID
45-B	Centennial Plaza, LLC	115 North 4th Street	Purchase	12/5/2007	12/18/07	1/22/2008	\$803,100	\$238,000	\$1,047,600	\$25,000	\$25,000	1/29/2009	\$1,617,863.97	\$573,200	0	0001-050-010
46-B	Westley's Inc.	423 East Broadway	Lease	2/21/2008	03/11/08	3/19/2008	N/A	N/A	N/A	N/A	\$28,000	7/14/2008	N/A	N/A	1	N/A
47-B	Depot Associates	401 East Main Avenue	Rehab	4/18/2008	05/13/08	5/28/2008	\$372,300	\$200,000	\$600,000	\$50,000	\$5,000	7/1/2009	\$243,344.00	\$516,200	0	0001-010-001
48-B	FV Restaurant, Inc.	401/411 East Main Avenue	Lease	4/18/2008	05/13/08	5/28/2008	N/A	N/A	N/A	N/A	\$150,000	6/27/2008	N/A	N/A	3	N/A
49-B	T. Casey Cashman	523 North 1st Street	Rehab	5/12/2008	05/27/08	6/12/2008	\$103,100	\$25,000	\$130,000	\$10,000	\$5,000	12/15/2008	\$23,375.41	\$111,600	0	0005-016-070
50-B	Staron Financial	333 North 4th Street	Rehab	5/12/2008	05/27/08	6/12/2008	\$1,154,600	\$2,500,000	\$2,654,600	\$270,000	\$500,000	12/1/2009	\$3,193,260.00	\$2,453,200	25	0001-104-030
51-B	David Bliss, LLC	521 East Main Avenue	Lease	10/9/2008	10/22/08	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
52-B	Mark Benesh & Associates/Prudential	521 East Main Avenue	Lease	10/9/2008	10/22/08	11/4/2008	N/A	N/A	N/A	N/A	\$15,000	4/17/2009	N/A	N/A	2	N/A
53-B	OG Investments, LLP	408 East Main Avenue	Rehab	3/11/2009	03/24/09	4/21/2009	\$60,700	\$298,720	\$420,000	\$22,000	\$20,975	10/21/2009	\$198,620.00	\$1,195,000	0	0001-048-040
54-B	RC Properties, LLP	800 East Sweet Avenue	Rehab/New Const.	5/13/2009	05/28/09	6/3/2009	\$576,100	\$2,145,500	\$1,900,000	\$98,000	\$485,000	1/20/2011	\$1,335,070.00	\$1,482,400	0	0001-037-025
55-B	Blarney Stone Pub, LLC	408 East Main Avenue	Lease	6/10/2009	06/23/09	7/17/2009	N/A	N/A	N/A	N/A	\$30,000	10/1/2009	N/A	N/A	46	N/A
56-B	Cavelier Homes, Inc.	408 East Main Avenue	Lease	6/10/2009	06/23/09	7/17/2009	N/A	N/A	N/A	N/A	\$153,695	10/15/2009	N/A	N/A	3	N/A
57-B	Jim Poelman Consulting, Inc.	408 East Main Avenue	Lease	6/10/2009	06/23/09	7/17/2009	N/A	N/A	N/A	N/A	\$50,000	9/5/2009	N/A	N/A	1	N/A
58-B	TFRE, LLC	1201/24 North 4th Street	Purchase w/ Major	6/10/2009	06/23/09	6/25/2009	\$231,100	\$245,284	\$390,000	\$30,000	\$15,000	11/1/2010	\$246,603.00	\$475,200	0	0001-050-001
59-B	Boardwalk on Broadway	100 West Broadway	Rehabilitation	8/12/2009	08/25/09	9/11/2009	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
60-B	SRSSM Partnership	122 East Broadway	Purchase w/ Major	10/14/2009	10/27/09	11/25/2009	\$437,680	\$727,000	\$843,500	\$54,080	\$843,500	6/17/2010	\$620,109.00	\$976,800	0	0001-080-025
61-B	Sheldon A. Smith, P.C.	122 East Broadway	Lease	11/12/2009	11/24/09	12/3/2009	N/A	N/A	N/A	N/A	\$192,500	6/21/2010	N/A	N/A	1.5	N/A
62-B	Randall J. Bakke, P.C.	122 East Broadway	Lease	11/12/2009	11/24/09	12/3/2009	N/A	N/A	N/A	N/A	\$192,500	6/21/2010	N/A	N/A	1	N/A
63-B	Scott K. Poraborg, P.C.	122 East Broadway	Lease	11/12/2009	11/24/09	12/3/2009	N/A	N/A	N/A	N/A	\$192,500	6/21/2010	N/A	N/A	1	N/A
64-B	Mitchell D. Armstrong, P.C.	122 East Broadway	Lease	11/12/2009	11/24/09	12/3/2009	N/A	N/A	N/A	N/A	\$192,500	6/21/2010	N/A	N/A	0.5	N/A
65-B	Kranzer Kingsley Communications, LTD	501 East Main Avenue	Lease	12/9/2009	12/22/09	1/10/2010	N/A	\$180,000	N/A	N/A	\$17,000	7/19/2010	\$295,986.00	N/A	4	N/A
67-B	IRET Properties, LP	715 East Broadway Avenue	Rehabilitation	12/9/2009	12/22/09	1/10/2010	\$1,251,000	\$1,136,650	\$1,818,000	\$125,287	\$0	9/8/2010	\$837,783.00	\$1,794,600	0	0001-042-001
68-B	J & J Smith Property Management, LLC	115 North 4th Street	Purchase w/ Major	1/13/2010	01/26/10	2/12/2010	\$294,400	\$120,000	\$437,000	\$25,000	\$2,500	10/25/2010	\$161,746.00	\$466,600	0	0001-048-050
69-B	Jimmy John's	301 South 3rd Street	Lease	2/10/2010	02/23/10	3/2/2010	N/A	\$75,000	N/A	N/A	\$8,000	7/19/2010	\$140,000.00	N/A	14	N/A
70-B	J2 Studio Architecture + Design	521 East Main Avenue	Lease	2/10/2010	02/23/10	3/2/2010	N/A	N/A	N/A	N/A	\$8,000	3/11/2010	N/A	N/A	1	N/A
71-B	JS Bichal, LLC	115 North 4th Street	Lease	6/9/2010	06/22/10	7/2/2010	N/A	N/A	N/A	N/A	\$4,000	11/1/2010	N/A	N/A	4	N/A
72-B	Toasted Frog West, LLC	124 North 4th Street	Lease	10/19/2010	10/26/10	11/10/2010	N/A	N/A	N/A	N/A	\$12,000	12/1/2010	N/A	N/A	10	N/A
73-B	A.L. Brend, DDS	207 East Front Avenue	Lease	10/13/2010	10/26/10	11/10/2010	N/A	\$300,000	N/A	N/A	\$55,000	10/24/2011	N/A	N/A	8	N/A
74-B	Magg-Touch Carpet & Furniture, Inc	800 East Sweet Avenue	Lease	10/19/2010	10/26/10	11/10/2010	N/A	N/A	N/A	N/A	\$106,000	2/1/2011	N/A	N/A	3	N/A
75-B	American Bank Center	401 North 4th Street	New Construction	10/19/2010	10/26/10	11/10/2010	N/A	\$3,500,000	\$3,500,000	\$15,500	\$15,000	10/19/2012	\$3,046,296.43	N/A	0	0001-122-000
76-B	Spaces, Inc.	122 East Main Avenue	Lease	1/12/2011	01/25/11	2/17/2011	N/A	\$80,000	N/A	N/A	\$7,500	2/21/2011	N/A	N/A	3.5	N/A
77-B	Almea C. Reidy	306 South 10th Street	Rehabilitation	3/9/2011	03/22/11	4/17/2011	\$68,200	\$20,000	\$120,000	\$5,500	\$2,500	6/24/2011	\$45,433.00	\$96,600	0	0005-077-010
78-B	Four-2-Five on Broadway/Loran Galpin	123 North 4th Street	Purchase w/ Major	4/13/2011	04/26/11	5/17/2011	\$96,300	\$1,100,000	\$1,200,000	\$41,000	\$6,000	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
79-B	Jennifer I. Davis	522 North 5th Street	Purchase w/ Major	5/11/2011	05/24/11	6/12/2011	\$41,400	\$300,000	\$290,000	\$5,170	\$42,050	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
80-B	Pine Properties, LLC	100 West Broadway Avenue	New Construction	6/9/2011	06/28/11	8/10/2011	\$25,000	\$27,000,000	\$23,500,000	\$1,699,310	\$15,000	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	0001-059-010
81-B	Gulch II, LLC (Ria HST, LLC)	506/510 East Main Avenue	Rehabilitation	7/12/2011	7/26/2011	8/10/2011	\$243,500	\$3,100,000	\$3,000,000	\$298,655	\$15,439	1/15/2014	\$3,555,146.00	N/A	0	0001-046-020
82-B	Daymarck, LLC	521 East Main Avenue	Lease	7/12/2011	7/26/2011	8/10/2011	N/A	N/A	N/A	N/A	\$60,000	1/17/2013	N/A	N/A	4	N/A
83-B	JLB-BIS, Inc.	217 North 3rd Street	Rehabilitation	2/12/2012	2/28/2012	3/12/2012	\$113,500	\$350,000	\$265,000	\$20,750	\$75,000	11/15/2012	N/A	N/A	25	001-054-040
84-B	Broadway Centre, LLC	100 West Broadway	Lease	2/21/2012	2/28/2012	3/12/2012	N/A	N/A	N/A	N/A	\$10,000	WITHDRAWN	WITHDRAWN	WITHDRAWN	35	N/A
85-B	Pine Properties, LLC	100 West Broadway	Lease	2/21/2012	3/27/2012	5/14/2012	N/A	N/A	N/A	N/A	\$0	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
86-B	Pine Investment Company, LLC	100 West Broadway	Lease	2/21/2012	3/27/2012	5/14/2012	N/A	N/A	N/A	N/A	\$351,020	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
87-B	Pine Enterprises, LLC	100 West Broadway	Lease	2/21/2012	3/27/2012	5/14/2012	N/A	N/A	N/A	N/A	\$0	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
88-B	Pine Petroleum, Inc.	100 West Broadway	Lease	2/21/2012	3/27/2012	5/14/2012	N/A	N/A	N/A	N/A	\$509,880	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
89-B	Pine Oil Company	100 West Broadway	Lease	2/21/2012	3/27/2012	5/14/2012	N/A	N/A	N/A	N/A	\$16,485	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	N/A
90-B	Kenneth Clark and Dave Clark	106 East Thayer Avenue	Rehabilitation	7/17/2012	7/24/2012	7/26/2012	\$117,800	\$89,000	\$197,000	\$24,430	\$600	2/7/2013	\$95,402.00	\$117,800	0	001-110-035

BISMARK RENAISSANCE ZONE PROGRAM - PROJECT STATUS

Project	Applicant	Street Address	Project Type	RZA Hearing	Commission Approval	State Approval	Beginning Building Market Value	Proposed Investment	Estimated Building Value w/investment	Estimated Property Tax Benefit	Estimated State Income Tax Benefit	Completion Date	Actual Investment	2014 Building Market Value	Jobs Credited FTE	Parcel ID
91-B	Bread Poets Baking Company, LLC	108 East Thayer Avenue	Lease	7/17/2012	7/24/2012	7/26/2012	N/A	N/A	N/A	N/A	\$12,400	2/7/2013	N/A	N/A		N/A
92-B	LEMBAMK, LLC dba Drunken Noodle	510 East Main Avenue	Lease	8/21/2012	8/28/2012	10/11/2012	N/A	N/A	N/A	N/A	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN		N/A
93-B	Obermiller Nelson Engineering	116 North 5th Street	Lease	8/21/2012	8/28/2012	8/28/2012	N/A	N/A	N/A	N/A	\$10,000	9/1/2012	N/A	N/A	3	N/A
94-B	Hump Back Sally's, LLC	510 East Main Avenue	Lease	11/20/2012	11/27/2012	1/9/2013	N/A	N/A	N/A	N/A	\$45,000					N/A
95-B	Redland, LLC	123 North 4th Street	Rehabilitation	11/20/2012	11/27/2012	12/21/2012	\$96,300	\$1,400,000	\$1,200,000	\$110,940	\$45,000			\$96,300		001-048-095
96-B	Fass Lawda, LLC	510 East Main Avenue	Lease	1/15/2013	1/22/2013	2/21/2013	N/A	N/A	N/A	N/A	\$96,000	9/1/2013	N/A	N/A	10	N/A
97-B	J&G, Inc dba Red Wing Shoes	528 East Broadway Avenue	Lease	6/18/2013	6/25/2013	6/27/2013	N/A	N/A	N/A	N/A	\$40,000	10/1/2013	\$73,514.00	N/A		N/A
98-B	Sjonesby Unlimited, Inc.	222 West Broadway Avenue	Rehabilitation	6/18/2013	6/25/2013	6/27/2013	\$41,300	\$72,421	\$90,000	\$5,500	\$2,940	12/20/2013	\$93,607.06	\$41,300	0	001-084-040
99-B	Arkolis, LP	306 South 1st Street	New Construction	6/18/2013	6/25/2013	9/17/2013	\$0	\$3,000,000	\$2,000,000	\$100,000	\$40,000			\$0		
100-B	Langan Engineering & Environmental	401 East Broadway Avenue	Lease	8/20/2013	8/27/2013	1/14/2014	N/A	\$95,000	N/A	N/A	\$45,000		N/A	N/A		N/A
101-B	Kadic Enterprises, LLC	307 North 3rd Street	Rehabilitation	9/17/2013	9/24/2013	9/25/2013	\$212,400	\$490,051	\$950,000	\$30,000	\$40,000			\$212,400.00		001-106-030
102-B	Firefour, LLC	111 North 5th Street	Lease	9/17/2013	9/24/2013	9/25/2013	N/A	\$28,500	N/A	N/A	\$20,000			N/A		N/A
103-B	Norma Apartments, LLP	215 North 3rd Street	Rehabilitation	10/15/2013	10/22/2013	1/9/2014	\$418,700	\$704,226	\$460,000	\$34,740	\$18,900	12/19/2013	\$35,820.82		1	001-094-035
104-B	CC's Physical Therapy, LLC	100 West Broadway Avenue	Lease	3/18/2014	3/26/2014	4/2/2014	N/A	\$300,000	N/A	N/A	\$10,000			N/A		N/A
105-B	Pure Skin, LLC	100 West Broadway Avenue	Lease	4/15/2014	4/22/2014	5/29/2014	N/A	\$248,000	N/A	N/A	\$15,000			N/A		N/A
106-B	Broadway Centre Salon & Spa, Inc.	100 West Broadway Avenue	Lease	4/15/2014	4/22/2014	5/29/2014	N/A	\$566,403	N/A	N/A	\$20,000			N/A		N/A
107-B	Lucky Ducks ND, LLC	307 North 3rd Street	Lease	5/20/2014	5/27/2014	5/28/2014	N/A	N/A	N/A	N/A	\$40,000			N/A		N/A
					TOTALS		\$14,735,980	\$60,459,360	\$61,819,400	\$5,341,258	\$7,764,463		\$27,038,245.23	\$32,147,100	371.25	

CORE Incentive Grant Program

CORE Project	Applicant	Street Address	Project Type	RZA Hearing	Commission Approval	Total Project Cost	Approved Grant Amount	Completion Date	Sidewalk Subsurface Infill	Technical Assistant Bank	Facade & Signage Incentive	Housing Incentive	Total Payments To Date
01-07	Red Wing Shoes	529 East Broadway Avenue	Signage	05/14/07	05/22/07	\$8,199.34	\$3,000.00	11/19/07			\$3,000.00		\$3,000.00
02-07	LeRoy Walker	118 North 5th Street	Subsurface Infill	05/14/07	05/22/07	\$3,300.00	\$2,800.00	05/30/07	\$2,800.00				\$2,800.00
03-07	LeRoy Walker	118 North 5th Street	Technical Assistance	07/17/07	08/14/07	\$1,015.00	\$1,575.00	09/17/07		\$771.38			\$771.38
04-07	Janet Pinks	207 East Avenue B	Housing Incentive	07/17/07	08/14/07	\$23,874.00	\$5,000.00					\$4,439.60	\$4,439.60
			Technical Assistance	07/17/07	08/14/07	\$2,100.00	\$1,575.00	01/29/08		\$1,055.62			\$1,055.62
			Housing Incentive	03/11/09	03/24/09	\$90,487.14	\$13,657.83	02/28/09				\$13,657.83	\$13,657.83
05-07	Kevin Horneman	408 East Main Avenue	Technical Assistance	07/17/07	08/14/07	\$2,100.00	\$1,575.00	01/23/08					\$1,575.00
06-07	Kevin Horneman	410 East Main Avenue	Technical Assistance	07/17/07	08/14/07	\$2,100.00	\$1,575.00	01/23/08					\$1,575.00
07-07	Greg Bavendick	301 East Broadway Avenue	Technical Assistance	08/27/07	09/11/07	WITHDRAWN	\$1,575.00	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN
08-07	Pride Wilton Inc.	112 North 5th Street	Facade	08/27/07	09/11/07	\$44,197.00	\$22,098.50	11/29/07			\$22,098.50		\$22,098.50
09-07	Brady, Martz & Associates, PC	207 East Broadway Avenue	Signage	08/27/07	09/11/07	\$6,112.00	\$3,056.00	03/05/08			\$3,056.00		\$3,056.00
10-07	LeRoy Walker	118 North 5th Street	Facade	08/27/07	09/11/07	\$21,664.27	\$12,500.00	06/17/08			\$10,832.14		\$10,832.14
11-07	Kevin Horneman	408 East Main Avenue	Facade	08/27/07	09/11/07	\$50,405.00	\$25,000.00	09/17/08			\$25,000.00		\$25,000.00
12-07	Michael Woods	410 East Main Avenue	Facade	08/27/07	09/11/07	\$71,500.00	\$25,000.00	12/22/08			\$25,000.00		\$25,000.00
13-07	Rainmaker Gusto Ventures, LLC	116 North 5th Street	Housing Incentive	08/27/07	09/11/07	\$57,154.54	\$12,700.00	01/20/09				\$11,430.91	\$11,430.91
14-08	Turitto's Dry Cleaners	1131 East Main Avenue	Facade	04/18/08	05/13/08	\$5,256.00	\$2,628.00	10/01/08			\$2,628.00		\$2,628.00
15-08	Magic Photo Art	120 North 5th Street	Signage	05/12/08	05/27/08	\$5,170.15	\$2,735.08	09/30/08			\$2,735.08		\$2,735.08
16-08	Fowler Photography	120 North 5th Street	Signage	05/12/08	05/27/08	\$1,344.02	\$672.01	07/30/08			\$672.01		\$672.01
17-08	Mr. Delicious/Aaron Bank	307 North 3rd Street	Signage	06/23/08	07/08/08	\$10,415.00	\$3,000.00	01/30/09			\$3,000.00		\$3,000.00
18-08	Rainmaker Gusto Ventures, LLC	116 North 5th Street	Technical Assistance	06/23/08	07/22/08	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN
19-08	Robert Knutson Photography	405 East Sweet Avenue	Technical Assistance	07/09/08	07/22/08	\$2,310.00	\$1,575.00	12/17/08		\$1,575.00			\$1,575.00
20-08	The Window & Door Store	410 East Main Avenue	Signage	08/13/08	08/27/08	\$6,742.34	\$3,000.00	12/22/08			\$3,000.00		\$3,000.00
21-08	Tyre Mart	704 East Bowen Avenue	Signage	09/10/08	09/23/08	\$6,098.16	\$3,000.00	10/09/08			\$3,000.00		\$3,000.00
22-08	Robert Knutson Photography	405 East Sweet Avenue	Facade	11/12/08	11/25/08	WITHDRAWN	\$25,000.00	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN
24-08	AC/IND Bankers Association	122 East Main Avenue	Signage	11/12/08	11/25/08	WITHDRAWN	\$3,000.00	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN
25-09	Magi-Touch Carpet & Furniture Inc.	800 East Sweet Avenue	Technical Assistance	02/11/09	02/24/09	\$4,200.00	\$1,575.00	09/22/09		\$1,575.00			\$1,575.00

CORE Incentive Grant Program

CORE Project	Applicant	Street Address	Project Type	RZA Hearing	Commission Approval	Total Project Cost	Approved Grant Amount	Completion Date	Sidewalk Subsurface Infill	Technical Assistant Bank	Facade & Signage Incentive	Housing Incentive	Total Payments To Date
26-09	Gosset Enterprises/Taco John's	320 South 3rd Street	Facade	02/11/09	03/24/09	\$51,923.53	\$25,000.00	08/20/09			\$25,000.00		\$25,000.00
27-09	Gosset Enterprises/Taco John's	320 South 3rd Street	Signage	02/11/09	03/24/09	\$8,840.00	\$3,000.00	08/20/09			\$3,000.00		\$3,000.00
28-09	Rolf Eggers	214 & 216 East Main Avenue	Facade	02/11/09	03/24/09	\$7,150.00	\$3,575.00	06/16/09			\$3,575.00		\$3,575.00
29-09	ADLOC Inc./Warren's Locks & Keys	214 East Main Avenue	Signage	02/11/08	03/24/09	\$1,215.00	\$607.50	06/04/09			\$5932.50		\$5932.50
30-09	A&B Pizza South	311 South 7th Street	Technical Assistance	4/8/2009	4/28/2009	WITHDRAWN	\$1,575.00	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN
31-09	Broadway Floral of Hearts	411 East Broadway Avenue	Signage	5/13/2009	5/26/2009	\$4,845.49	\$2,422.95	07/09/09			\$2,422.95		\$2,422.95
32-09	Magi-Touch Carpet & Furniture, Inc.	800 East Sweet Avenue	Facade	5/13/2009	5/26/2009	\$347,150.00	\$25,000.00	07/20/11		\$1,575.00			\$26,575.00
33-09	DoCo Group	114 North 3rd Street	Technical Assistance	7/8/2009	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN	WITHDRAWN
34-09	Starion Financial	333 North 4th Street	Signage	10/14/2009	10/27/2009	\$10,860.00	\$3,000.00	12/28/09			\$3,000.00		\$3,000.00
35-09	SRSSM Partnership	122 East Broadway	Facade	11/12/2009	11/24/2009	\$72,238.00	\$20,000.00	07/13/10			\$20,000.00		\$20,000.00
36-09	SRSSM Partnership	122 East Broadway	Signage	11/12/2009	11/24/2009	\$6,537.00	\$3,000.00	07/13/10			\$3,000.00		\$3,000.00
37-10	J & J Property Management	115 North 4th Street	Technical Assistance	1/13/2010	1/26/2010	\$1,715.00	\$1,575.00	07/01/10		\$1,286.25			\$1,286.25
38-10	Hedahl's Inc.	100 East Broadway Avenue	Signage	1/13/2010	1/26/2010	\$4,607.50	\$3,675.00	07/01/10		\$3,455.25			\$3,455.25
39-13	Redland, LLC	123 North 4th Street	Subsurface Infill	12/18/2012	1/8/2013	\$196,262.00	\$196,262.00	09/30/13	\$203,232.25				\$203,232.25
40-13	Woodmansee's Inc.	114 North 4th Street	Signage	12/18/2012	1/8/2013	\$6,150.00	\$3,000.00	04/01/11			\$3,000.00		\$3,000.00
41-13	Blink Eyewear	234 West Broadway Avenue	Facade	1/15/2013	1/22/2013	\$18,712.01	\$9,356.00	05/02/13			\$8,625.00		\$8,625.00
42-13	Blink Eyewear	234 West Broadway Avenue	Signage	1/15/2013	1/22/2013	\$6,000.00	\$3,000.00	05/02/13			\$3,000.00		\$3,000.00
43-13	ELAD, LLC	119 North 4th Street	Technical Assistance	1/19/2013	02/26/13	\$3,300.00	\$2,475.00	07/26/13		\$2,475.00			\$2,475.00
44-13	Laughing Sun Brewery	107 North 5th Street	Signage	02/19/13	02/26/13	\$6,600.00	\$3,000.00	04/26/13			\$3,000.00		\$3,000.00
45-13	NordMor, LLC	317/319 South Mandan Street	Technical Assistance	3/19/2013	03/26/13		\$8,250.00						
46-13	One Source Lighting, LLC	122 North Mandan Street	Technical Assistance	4/17/2023	04/23/13	\$1,900.00	\$2,475.00	12/10/13		\$1,475.00			\$1,475.00
47-13	Kadlec Enterprises, LLC	307 North 3rd Street	Technical Assistance	8/20/2013	8/27/2013	\$7,611.25	\$2,475.00	9/4/2013		\$2,475.00			\$2,475.00
48-13	InVision Properties, LLP	815 East Main Avenue	Facade Signage	11/19/2013	11/26/2013	\$123,721.35	\$25,000.00	9/1/2013			\$25,000.00		\$25,000.00
49-14	Pressdough of Bismarck, LLC	304 East Front Avenue	Technical Assistance	1/22/2014	1/28/2014	\$4,200.00	\$2,475.00	03/06/2014		\$2,475.00			\$2,475.00

CORE Incentive Grant Program

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50-14	Laughing Sun Brewing Company, LLC	122 North Mandan Street	Technical Assistance	4/15/2014	4/22/2014								
51-14	Electronic Building Company	212 West Main Avenue	Technical Assistance	4/15/2014	4/22/2014								
52-14	Presslough of Bismarck, LLC	304 East Front Avenue	Façade	7/15/2014	8/12/2014								
53-14	Jim Barnhardt	223 East Main Avenue	Technical Assistance	8/19/2014									
	Totals					\$1,331,342.91	\$532,595.87		\$206,032.25	\$23,344	\$213,177.18	\$29,528.34	\$494,606.27